

ARCHITECTURE PORTFOLIO

Anto Amirkhanian

Glendale Community College  
Anto Amirkhanian





## **Anto Amirkhanian**

Architecture Student  
Glendale Community College

### **Address**

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## **L A N G U A G E S**

**ARMENIAN**  
NATIVE

**ENGLISH**  
FLUENT

**ARABIC**  
FLUENT

**RUSSIAN**  
FLUENT

## **S K I L L S**

**REVIT**

**PHOTOSHOP**

**SKETCH-UP**

**RHINOCEROS**

**3D MAX**

**TWINMOTION**

**AUTOCAD**

**HAND SKETCH**

## **E M P L O Y M E N T**

### **GLENDALE COMMUNITY COLLEGE**

AS A STUDENT AMBASSADOR  
FROM FEBRUARY, 2020 TO CURRENT

To help educate visitors about the campus life, history, traditions and achievements of the college through supporting the Student Life & Leadership departments, conducting campus tours, supporting high school recruitment events, and supporting Presidential and Foundation functions.

## **I N T E R N S H I P S**

### **JOSEPH KASBAR DESIGN STUDIOS**

AS AN ARCHITECTURAL ASSOCIATE  
FROM JANUARY, 2020 TO CURRENT

### **BARDI ARCHITECTURAL STUDIO**

AS AN ARCHITECTURAL ASSOCIATE  
FROM JANUARY, 2017 TO JANUARY 2018

Enthusiastic Architectural Associate able to contribute to project success with knowledge of designs and project management. Prepared to bring expertise to Joseph Kasbar Design Studios and Bardi Architectural Studios contribute to team success. My internship included drawing floor plans, organizing papers, helping architects in the firm with bringing construction materials, and talking with the construction employees with measurements and materials on the job site.

### **AL HAMRA REAL ESTATE**

AS AN ARCHITECTURAL ASSOCIATE  
FROM JANUARY, 2018 TO NOVEMBER 2019

Worked on buildings and landfill, where I assisted the CM team with Cost Management, Time Management, Quality Management, and Contract Administration. Processed Contract Documentation Procedures: RFI's, Submittals, Change Orders, Payment Applications, Daily Field Reports, Closeout Documentations and more. Constructability Reviews on Civil, Structural, and Landscape Plans.

## **E D U C A T I O N**

### **AREGNAZAN HIGH SCHOOL**

GRADUATED AND RECEIVED A DIPLOMA  
IN YEREVAN, ARMENIA, IN 2019

### **YEREVAN STATE UNIVERSITY OF ARCHITECTURE AND CONSTRUCTION**

YEREVAN, ARMENIA, FALL 2019

### **GLENDALE COMMUNITY COLLEGE**

GLENDALE, CALIFORNIA, FROM 2020 TO  
CURRENT



## PROJECTS

- 01** | Design House Program  
708 E Palmer Ave, Glendale, CA 91205
- 02** | Little Tokyo Mix Use  
282 E 2nd St, Los Angeles, CA 90012
- 03** | The Mediterranean  
5006 Ventura Canyon Ave, Sherman Oaks, CA 91423
- 04** | The Modern Barn  
4736 Burnet Ave, Sherman Oaks, CA 91403
- 05** | Apartment Complex  
15216 CHATSWORTH ST. MISSION HILLS, CA 91345



We were given a list of Paralympic athletes to choose from the “Rising Phoenix” movie as clients and the goal was to design a custom 3 bedrooms house to fit into the character of the paralympian athlete I chose to represent using ADA requirements. This house represents The architectural design of the house imitates the notion and the gesture of what the athlete does in his sport and his special needs. As a result, this house is the extension of his passion and his beliefs. The House implies the spirit of Ntando Mahlangu.

Ntando Mahlangu is a South African Paralympic athlete. He represented South Africa at the 2016 Summer Paralympics held in Rio de Janeiro, and he won the silver medal in the men's 200 metres T42 event. In 2019, he qualified to represent South Africa at the 2020 Summer Paralympics in Tokyo, Japan .

Ntando Mahlangu was born with Hemimelia, which means his legs didn't fully develop below the knees. He spent 10 years of his life in a wheelchair in the year 2012 the decision was made to amputate him. after 2012 he was given prosthetic legs and started to pursue his dream in running track

The concept of this house is the Ramp that represents the path to his success and the running track as it is in his sport in the Paralympian games. The Ramp of the house wraps 4 rooms which each one of them represents a portion and stages throughout his life.



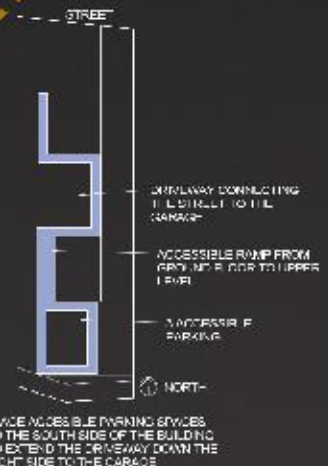
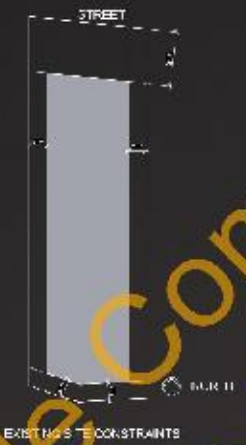
**1** Living/dining and kitchen: This room represents the family that they had in the movie "The Rising Phoenix", we can see a dining table which has 10 seats around it, and in the movie, there are 9 athletes and the former wheel chair basketball player Philip Craven. And that room represents the family that they have as Paralympian athletes.

**2** First Bedroom: This room represents his life before his amputation when he was in a wheelchair without the ability to pursue his dream of running and becoming an athlete. The room is shaped like a square and a mini square in the middle and making it look like a wheel of a wheelchair. It represents his life before the age of 10, the life before his amputation.

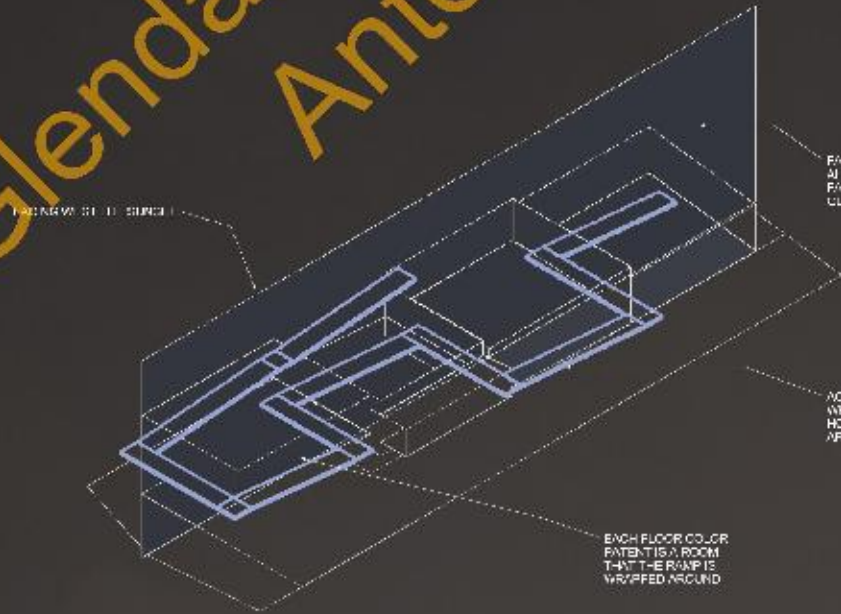
**3** Second bedroom: This bedroom represents the amputation of Ntando, the bathroom is lower than the bedroom itself, it is lowered by 16" and it is connected with an ADA ramp to the bathroom to show that a piece of him was taken away. When the decision was made to be amputated he got his prosthetic legs which was the hope and strength he got with that prosthetic legs and received the opportunity to pursue his dream of running and to reach his goal.

**4** Third Bedroom: The third bedroom represents hope. The room has multiple skylights that allows sunlight to come into his room shedding light which is the hope and the fact that he never gave up in his dreams and always been positive throughout his journey of life and saw the light at the end of the tunnel.

**5** Rooftop: Lastly the last stage of his life which is at the top, representing his success. The last destination of Gal ramp leads to the rooftop, the ramp goes out of the house and connects the top portion of the house which is located on top of the second bedroom. After all the pain and sufferings he finally gets to the top becoming a Paralympian Athlete, a champion.



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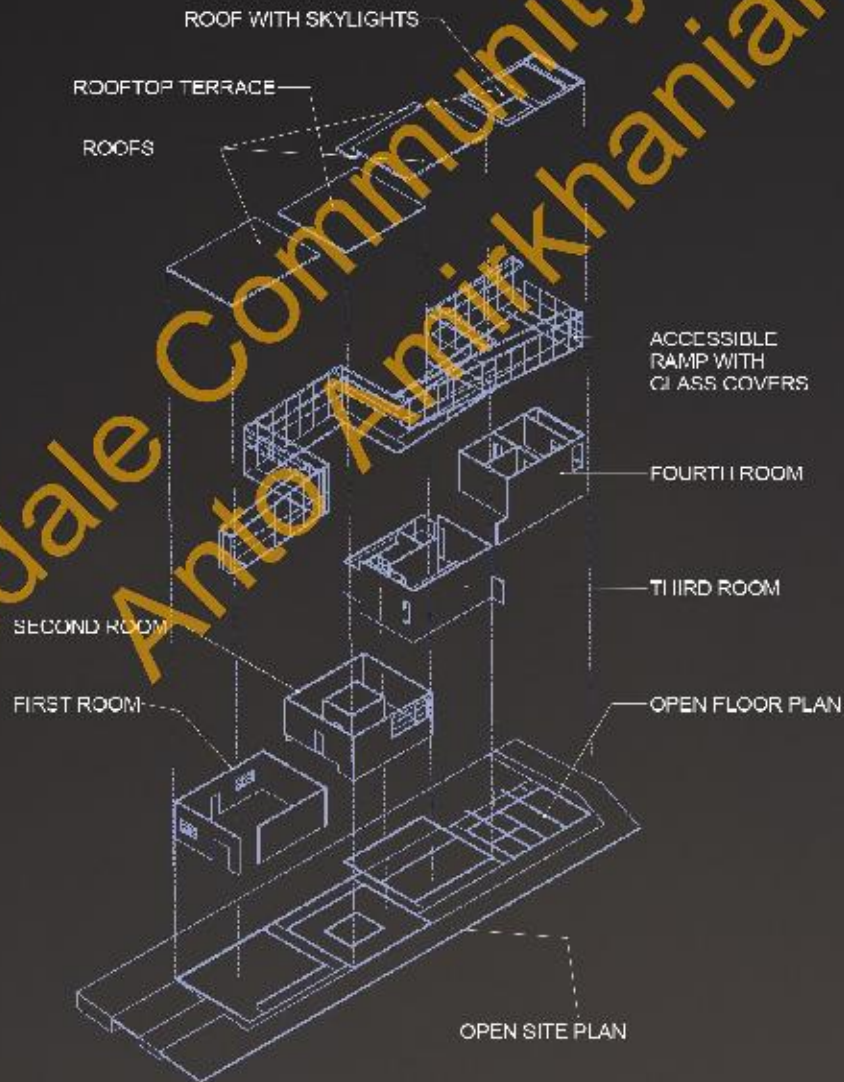




LONGITUDINAL SECTION



TRANSVERSE SECTION



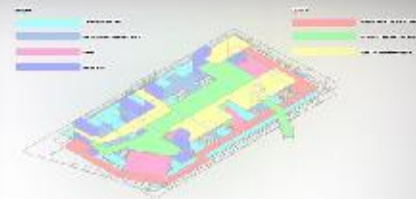
EXPLODED VIEW

## LITTLE TOKYO

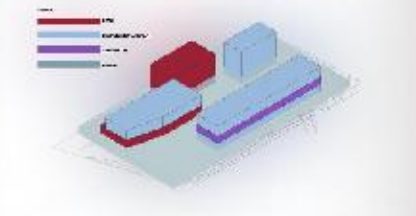
We were given the site and asked to design and propose a brand new commercial mix-use high rise building with circulation or a program connecting to a building |Weller Court| across 2nd street. The address is 282 East 2nd Street, Los Angeles, CA. The corner of East 2nd Street and San Pedro Street, in Little Tokyo, Los Angeles, California. The

Area of the site is 98,684 sq ft. or 2.3 acre of land since 1 acre = 43,560 sq ft.

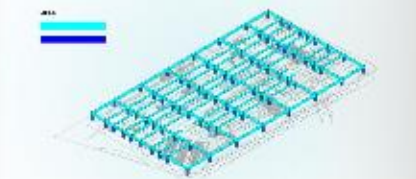
The mall center I have created is an outdoor and indoor mall space wich has multiple retail stores, restaurants, a food court, office spaces, a vallet and has a parking with a capacity of 236 cars. I have made it mostly outdoor area in order for people to enjoy the amazing view it has of downtown Los Angeles. The center has 3 floors, The Ground floor is mostly the service corridor connecting to all the retail and restaurants, and retail stores in the North East side of the center. The first floor is the contains retsaurants, retail stores, a private office spaces, and big outdoor area for people to enjoy the center. The last floor which is the second floor is restaurants and retail with the amazing view of the Los Angeles skyline.



CIRCULATION DIAGRAM



PROGRAM DIAGRAM



STRUCTURAL DIAGRAM

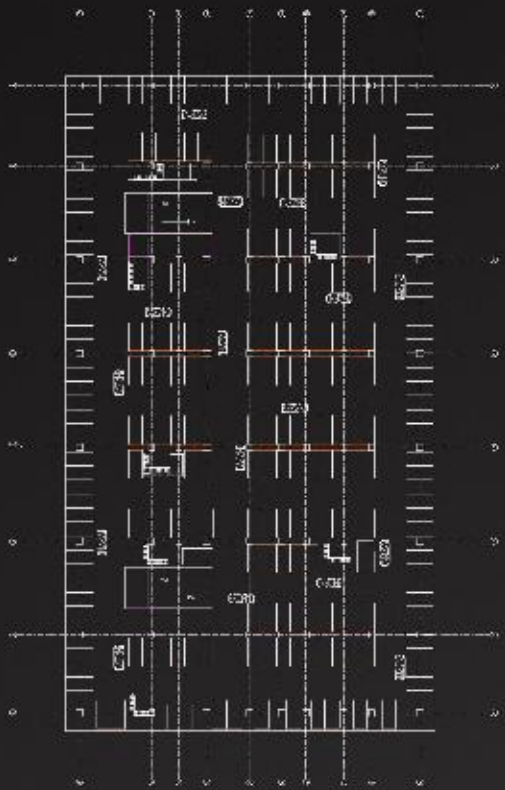




NORTH-EAST VIEW



SOUTH-EAST VIEW



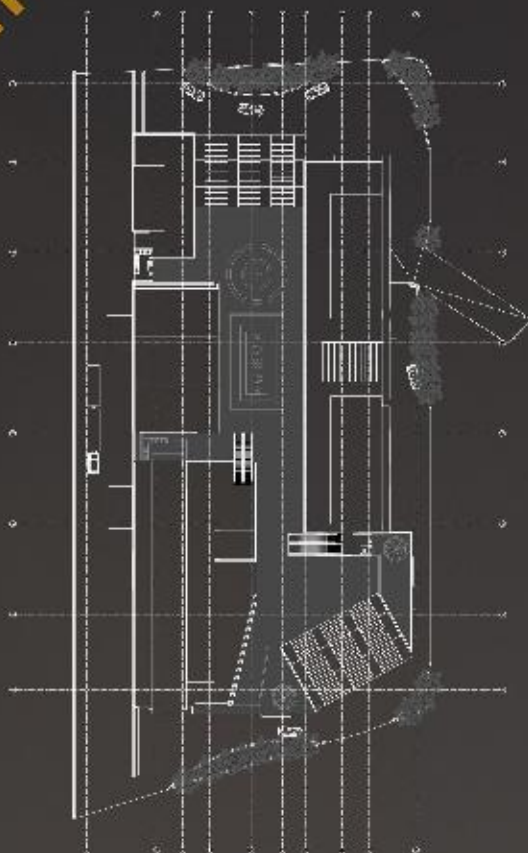
UNDERGROUND PARKING



GROUND FLOOR



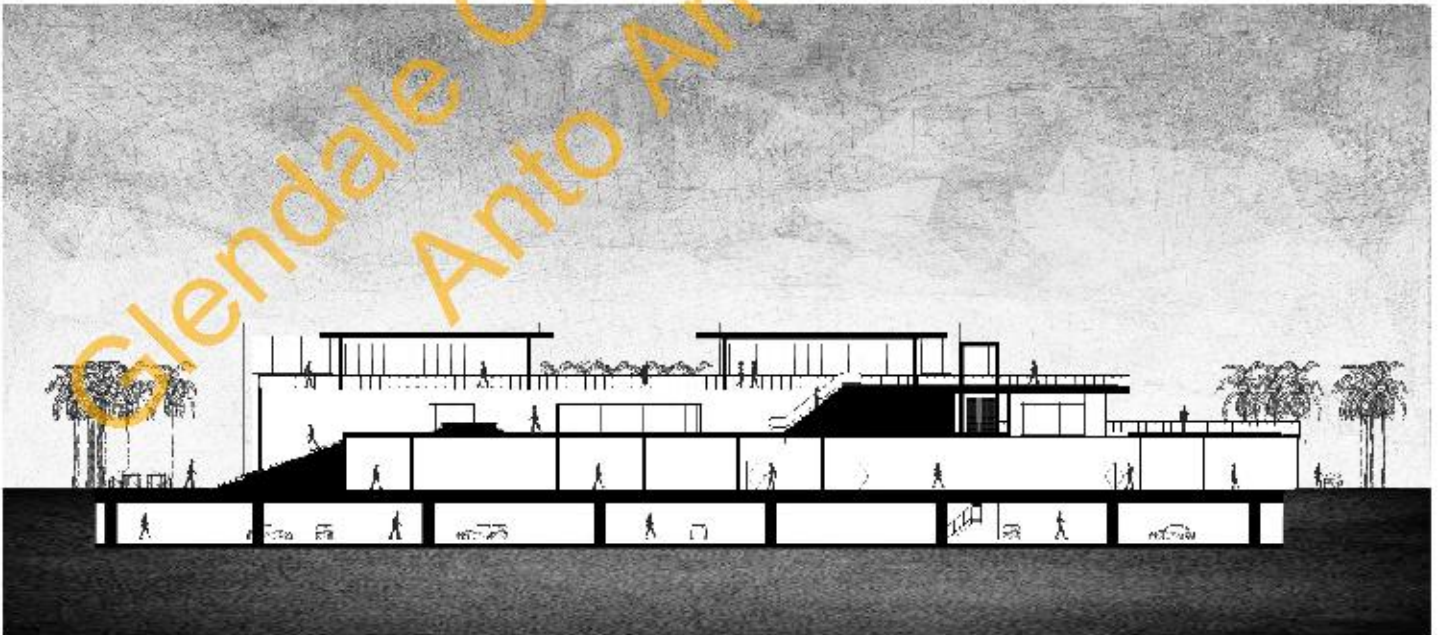
SECOND FLOOR



ROOF



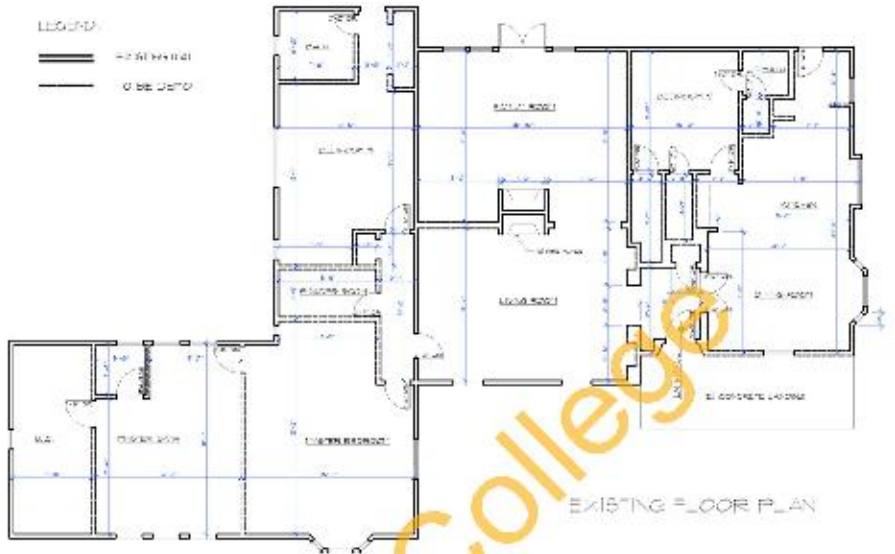
TRANSVERSE SECTION



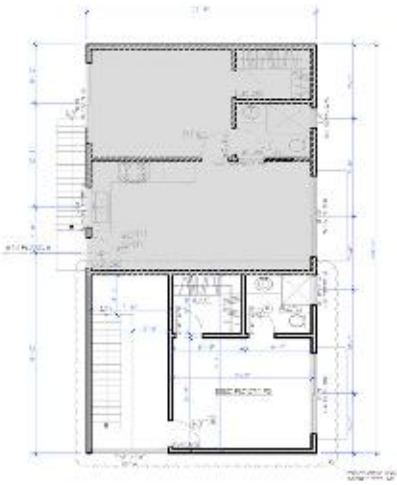
LONGITUDINAL SECTION

THE MEDITERRANEAN

LEGEND:  
 ——— EXISTING  
 ——— TO BE DEMO



EXISTING FLOOR PLAN



PROPOSED 2ND FLOOR PLAN & ADU

KEY NOTES:

- 1) 2x wood studs @ 16" OC w/ 5/8" drywall on the inside and 1/2" wood gyp on the outside.
  - 2) 2x wood studs @ 16" OC w/ 5/8" type drywall on both sides.
  - 3) SMOKE DETECTORS HARD WIRED WITH BACKUP BATTERY. ALL SMOKE ALARMS SHALL BE INTERCONNECTED FOR ALARM SOUNDS.
  - 4) (C) HARBOR Hvac/VE & NO COPPER NATV (N/C)
  - 5) (C) ELECTRICAL PAN LIGHT LED COMBO - NO COPPER NATV AIR CHANGES PER HOUR/ ENERGY STAR CERTIFIED w/ 40' DATAT CONTROL.
  - 6) (C) DRIBBLE TO HAVE AT LEAST EXHAUST DUCT TO BE EXTERIOR W/ BACK DRAIN (DRAIN DUCT) - LIMITED TO 10' W/ 1' SLOPE.
- PROVIDE 4" CONCRETE SLAB WITH REBAR #4 @ 18" OC EACH WAY. REBAR TO BE SET IN TRENCHES OF THE CONCRETE SLAB. (SEE PLAN ALL). SEE OTHER DRAWING FOR CONCRETE SUBMITTALS. (CONCRETE) ON BY THE LATER OF A SUBMITTAL AND/OR FIELD APPROVAL.

LEGEND:

- EXISTING WALL
- TO ADD WALL
- 1-HR RATED WALL 5/8" TYPE 1/2" GYP BOTH SIDES
- \* 20 MIN FIRE RATED SELF CLOSING SELF LATCHING DOOR



PROPOSED 1ST FLOOR PLAN

ENCLOSURE PLAN  
 ENCLOSURE PLAN  
 ENCLOSURE PLAN  
 ENCLOSURE PLAN



NORTH VIEW



EAST VIEW

**APPLICABLE CODES**

1991 INTERNATIONAL BUILDING CODE  
 2006 BUILDING DEPARTMENT SUPPLEMENTARY CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA BUILDING CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA ELECTRICAL CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA MECHANICAL CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA PLUMBING CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA FIRE CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA ENERGY CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA LANDMARK PRESERVATION CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA HISTORIC PRESERVATION CODE PARTS 1 THROUGH 10  
 2006 CALIFORNIA PUBLIC SAFETY CODE PARTS 1 THROUGH 10

**NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY AND COUNTY REQUIREMENTS AND THE CALIFORNIA BUILDING CODE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA MECHANICAL CODE.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND THE CALIFORNIA FIRE CODE.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ENERGY CODE AND THE CALIFORNIA LANDMARK PRESERVATION CODE.

**PROJECT SUMMARY**

**SITE ADDRESS:**  
 10000 VENTURA CANYON AVENUE  
 GLENDALE, CA 91205

**ASSESSOR'S MAP:**  
 2284-9

**LOCAL JURISDICTION:**  
 CITY OF GLENDALE

**PROJECT TYPE:**  
 REPAIR AND MAINTENANCE

LOT WITH CORNER BOUNDARY	AREA (SF)
10000 VENTURA CANYON AVENUE	10,000

**PROPOSED FLOOR AREA:**

FLOOR	AREA (SF)
FIRST FLOOR	10,000

**PROPOSED EXTERIOR WALL:**

TYPE	AREA (SF)
CONCRETE	10,000

**PROPOSED LOT COVERAGE:**  
 100% (10,000 SF OF 10,000 SF)

**PROPOSED LOT DEVELOPMENT:**  
 100% (10,000 SF OF 10,000 SF)

**PROJECT APPROVED:**  
 TOTAL SQUARE FEET OF WORK: 10,000  
 NUMBER OF PERMITS: 1  
 SPECIFICATIONS: YES

**FIRE NOTES**

**FIRE PREVENTION CODES**

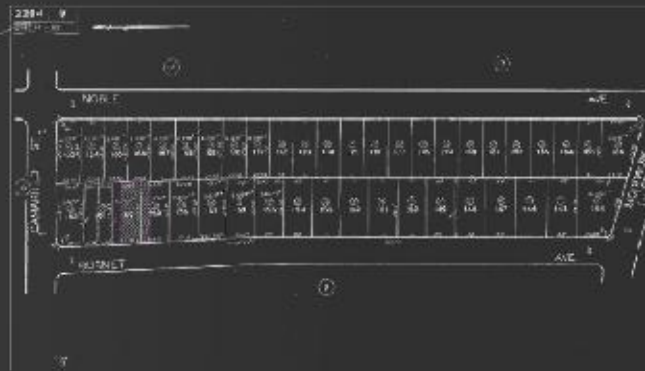
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND THE CALIFORNIA FIRE CODE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE AND THE CALIFORNIA MECHANICAL CODE.
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4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA ENERGY CODE AND THE CALIFORNIA LANDMARK PRESERVATION CODE.



**VICINITY MAP**



**ASSESSOR'S MAP**



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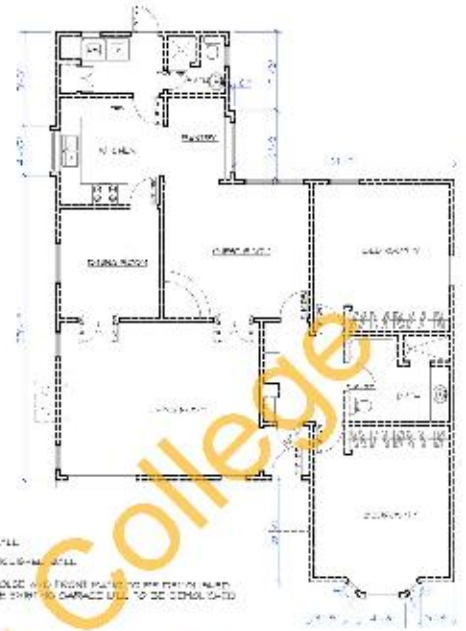


SOUTH EAST VIEW



SOUTH VIEW

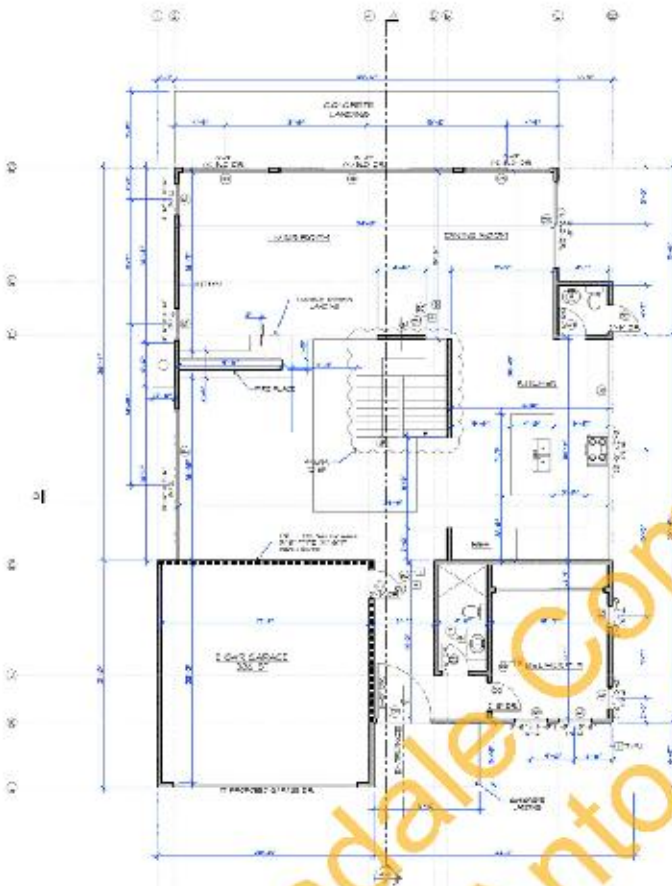
THE MODERN BARN



LEGEND:

- ==== EXISTING WALL
- ==== TO BE 2" DRYWALL
- EXISTING HOLD AND FINISH PARTS TO REMAIN ALTHOUGH THE EXISTING GARAGE DOOR TO BE CONSOLIDATED

EXISTING FLOOR PLAN



PROPOSED 1ST FLOOR PLAN

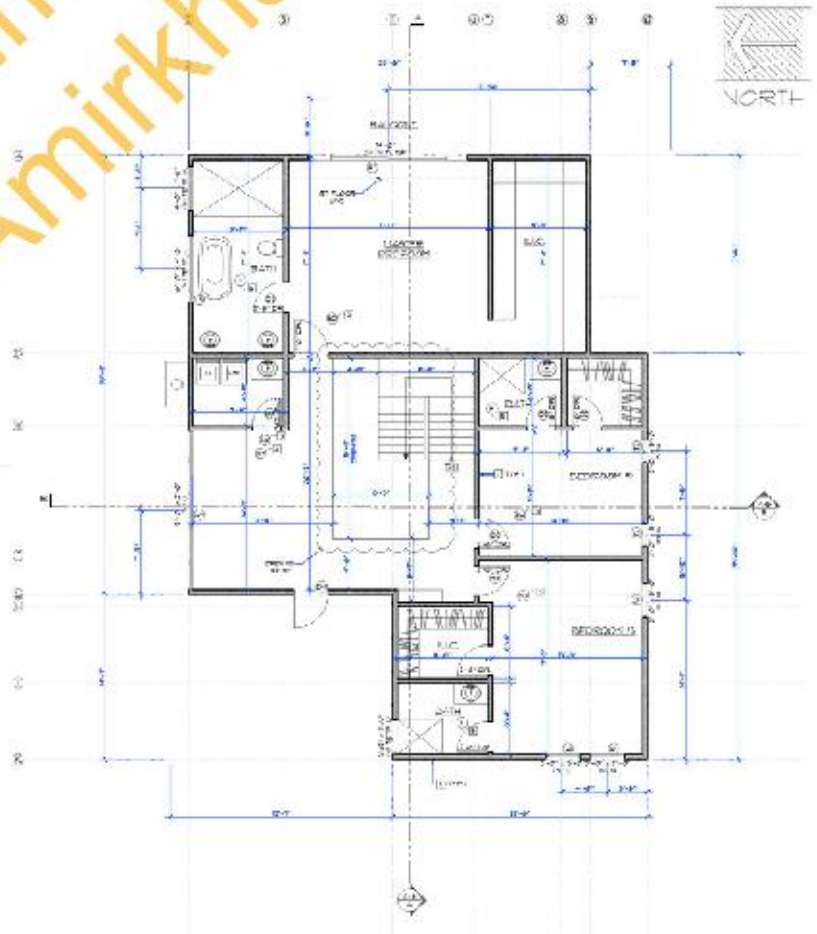
LEGEND:

- ==== 2" WALL

KEY NOTES:

- 1 2" WOOD STUDS @ 16" OC w/ 5/8" TYPE "X" DRYWALL ON THE INSIDE AND 1/2" STUDS ON THE OUTSIDE.
- 2 2" WOOD STUDS @ 16" OC w/ 5/8" TYPE "X" DRYWALL ON BOTH SIDES.
- 3 SMOKE DETECTORS (HARD WIRED WITH BACK-UP BATTERY) ALL SMOKE ALARMS SHALL BE INTERCONNECTED FOR ALARM SOUNDS.
- 4 CARBON MONOXIDE (CO) DETECTION.
- 5 ELECTRICAL PAN LIGHT LED COMBO - 50 CIRCUM DRIVE AIR CHANGES PER HOUR) ENERGY STAR CERTIFIED w/ 4" DSTAT CONTROL.
- 6 DRYER TO HAVE 4" MIN. EXHAUST DUCT TO THE EXTERIOR w/ BLOCK DRAFT CHAMBER, DUCT LENGTH LIMITED TO 1" w/ 3 ELBOWS.

PROVIDE NEW 4" CONCRETE SLAB WITH REBAR @ 16" OC EACH WAY. REBAR TO BE SET IN THE MID HEIGHT OF THE CONCRETE SLAB. THE SLAB SHALL BE PLACED IN 10 MIL VIBRATED MOISTURE BARRIER UNDERLAIN BY ONE LAYER OF 4 INCHES OF 1/2" NO. 4 OR LARGER CLEAN AGGREGATE.



PROPOSED 2ND FLOOR PLAN



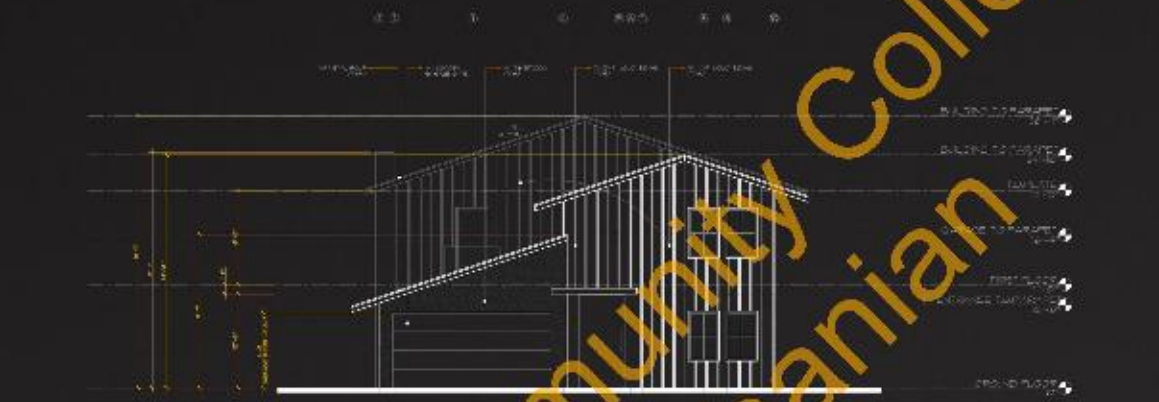




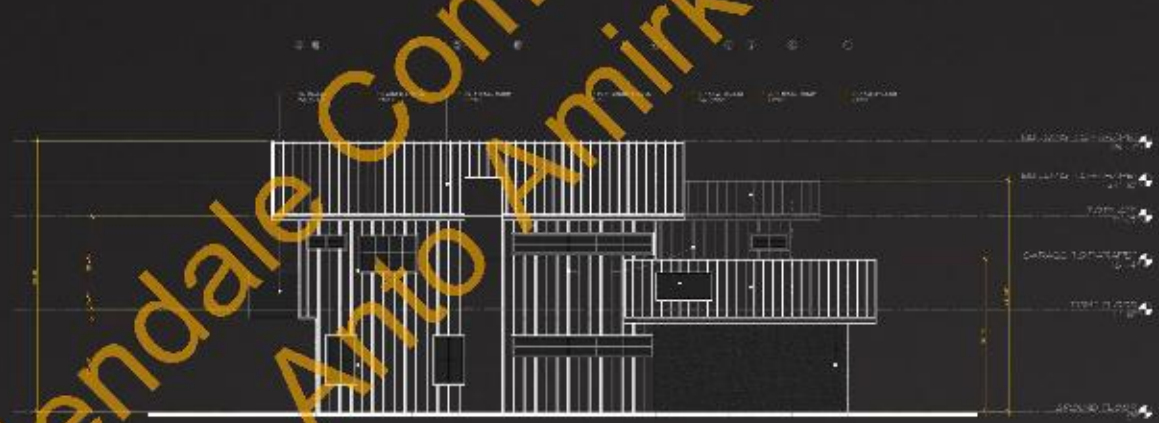
EAST VIEW



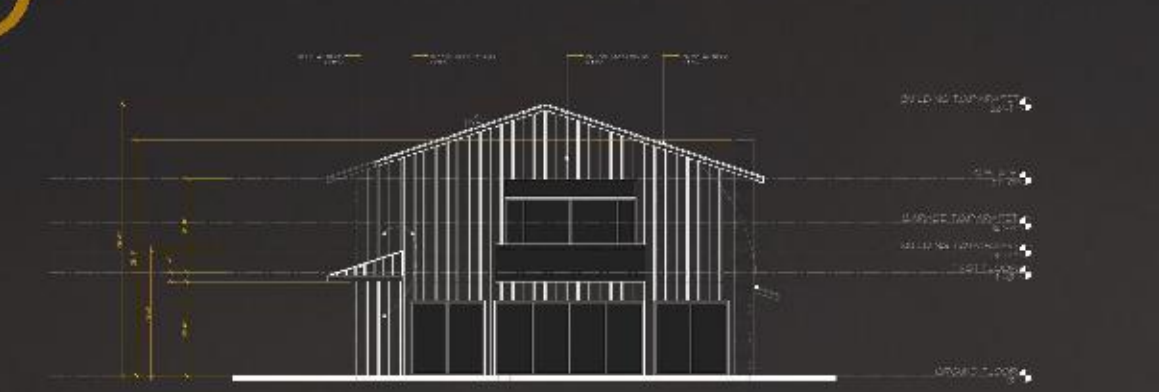
PROPOSED NORTH ELEVATION  
SCALE: 3/8"=1'-0"



PROPOSED EAST ELEVATION  
SCALE: 3/8"=1'-0"

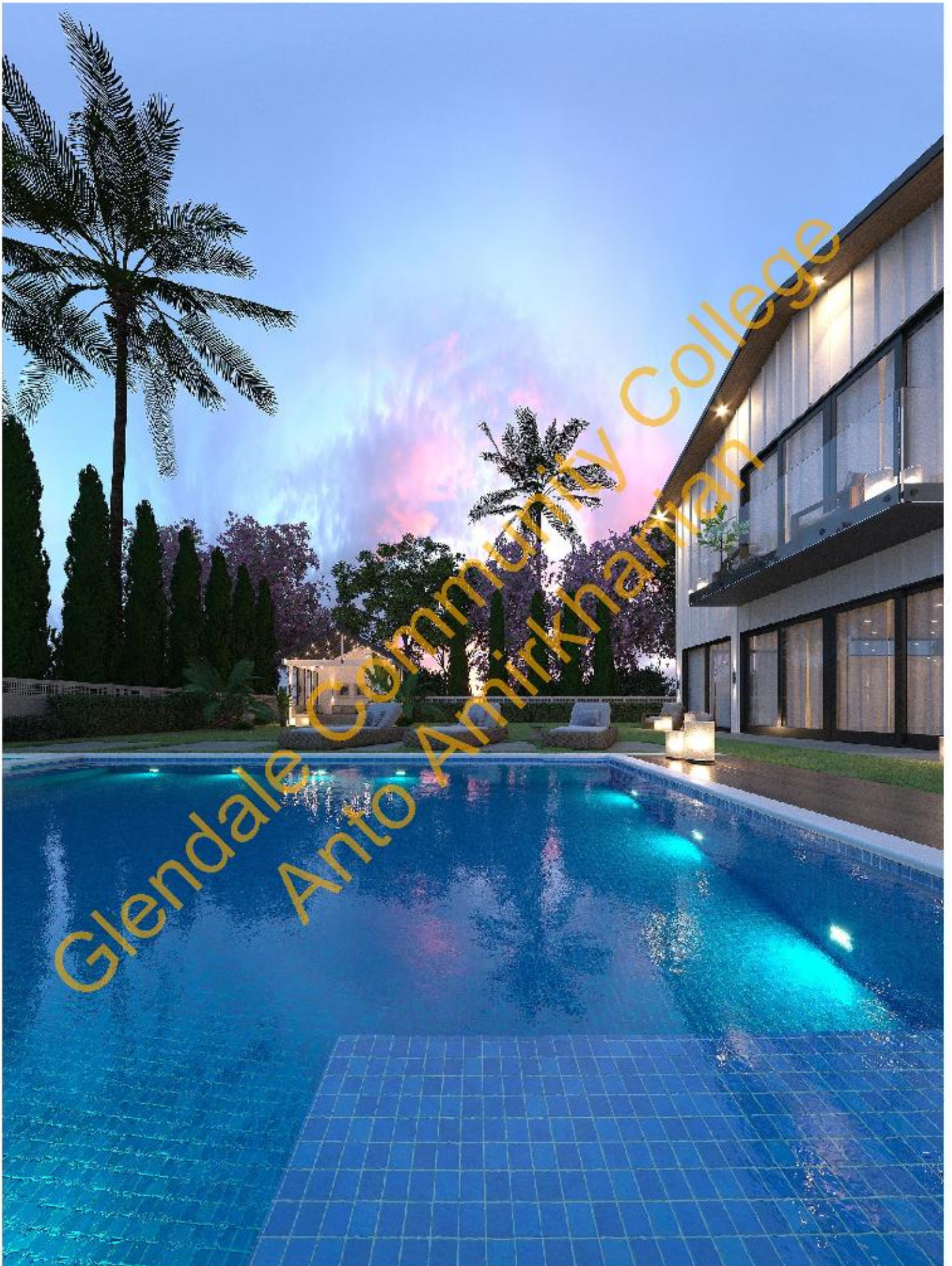


PROPOSED SOUTH ELEVATION  
SCALE: 3/8"=1'-0"



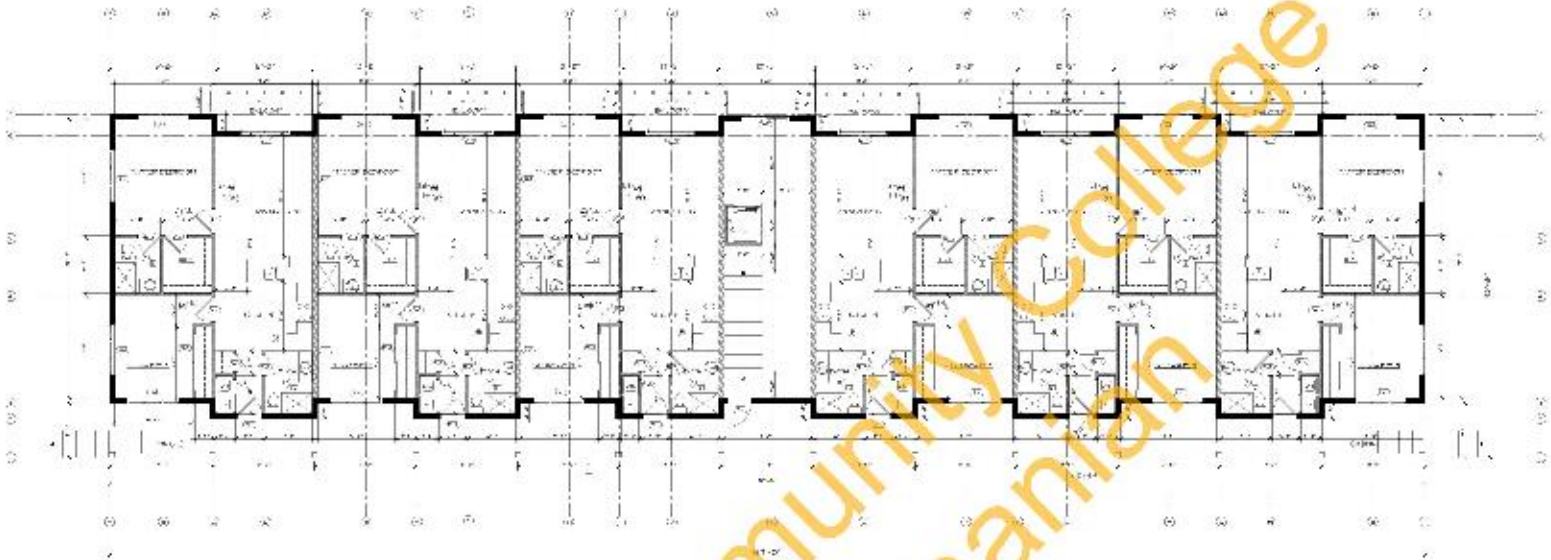
PROPOSED WEST ELEVATION  
SCALE: 3/8"=1'-0"

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SOUTH VIEW

APARTMENT COMPLEX



SECOND FLOOR



FIRST FLOOR

KEY NOTES:

- 1 1 1 2X JOOD STUDS @ 16" OC. W/ 5/8" TYPE 'X' DETAIL ON THE INSIDE AND 7/8" STUDS ON THE OUTSIDE
- 2 2X JOOD STUDS @ 16" OC. W/ 5/8" TYPE 'X' DETAIL ON BOTH SIDES
- 3 3X COKE DE DETORS (LAND WIRE) IN BACK UP BOTTOM. ALL COKE ALARMS SHALL BE INTERCONNECTED FOR ALARM SOUNDERS
- 4 4X CARBON MONOXIDE @ 50 COMB. V. O. -
- 5 5X (E) HIGH-IGNITION RANK 15-18 HP COMING @ 5000 RPM 15-18 AIR CHANGES PER HOUR. ENERGY STAR CERTIFIED W/ 4-1/2" AT CONTROL.
- 6 6X DRYER TO HAVE 4" R.T.N. EXHAUST DUCT TO THE EXTERIOR W/ BACK DRAFT DAMPER. DUCT LENGTH LIMITED TO 4' W/ 2 ELBOWS

LEGEND:

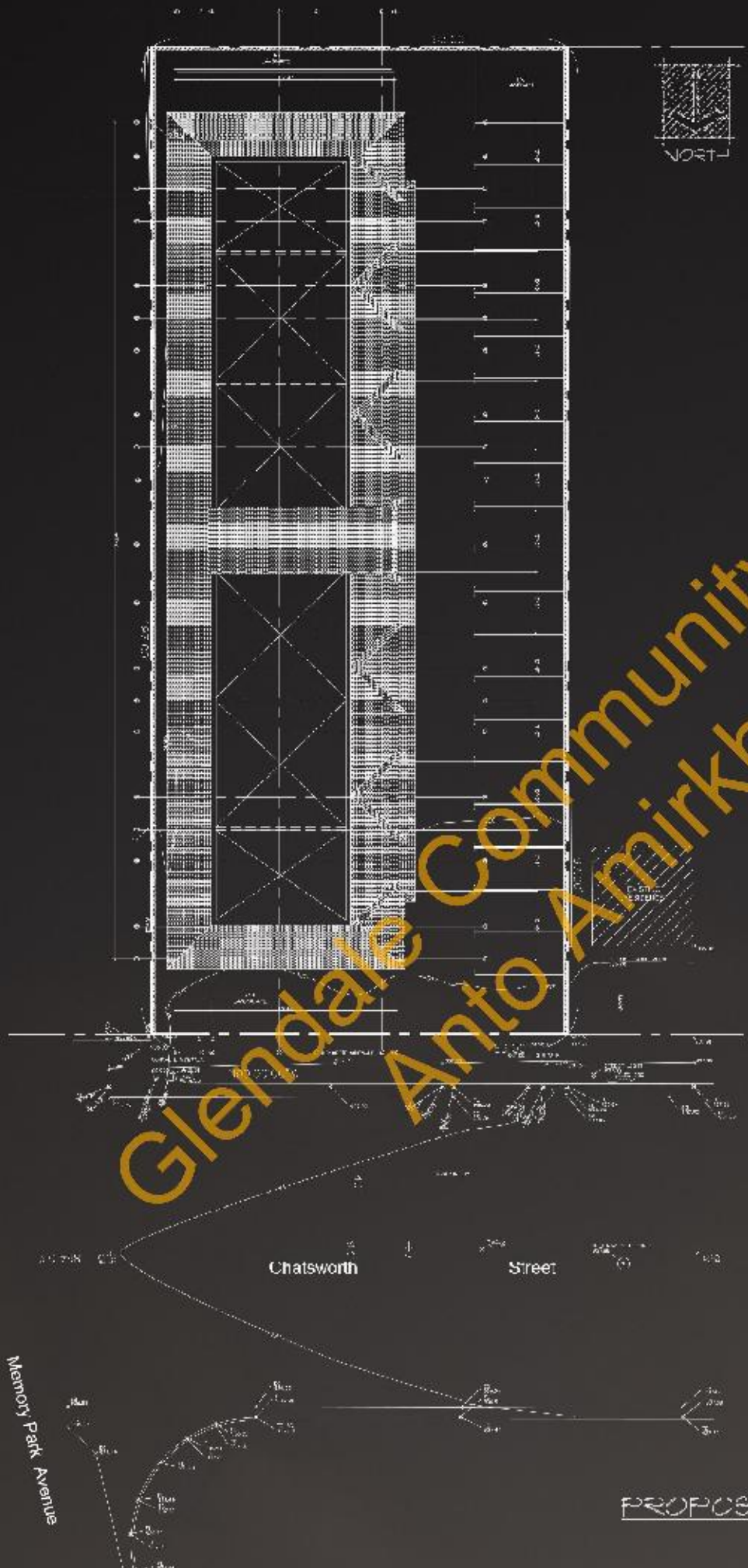
- 2X3 EXTERIOR 1" IR RATED WALL 5/8" TYPE 'X' GYP
- 2X7 NON RATED WALL 5/8" TYPE 'X' GYP. BOTH SIDES
- 2X3 1" IR RATED SEPARATION WALL 5/8" TYPE 'X' GYP.



EAST VIEW



SOUTH EAST VIEW



**PROJECT SUMMARY:**

**SITE ADDRESS:**

1806 CHATSWORTH ST.  
MISION - LLB - CA 91248

ADDRESS ID NO.  
0645-010-05

LOCAL DESCRIPTION  
1 ST. 1 TRACK NO. TR

**SCOPE OF WORK:**  
PROPOSED 3 STORY APARTMENTS

**PROJECT DATA:**

LOT SIZE:	8,350 SF
ZONING:	R-1 TO BE CHANGED TO R-1
BUILDING:	TYPE VA 25 ORY
TOTAL SF OF THE BUILDING:	2,500 SF
TOTAL NUMBER OF UNITS:	12 APARTMENT UNITS
SF OF EACH APARTMENT:	166.67 SF

**ACCESSION'S MAP:**



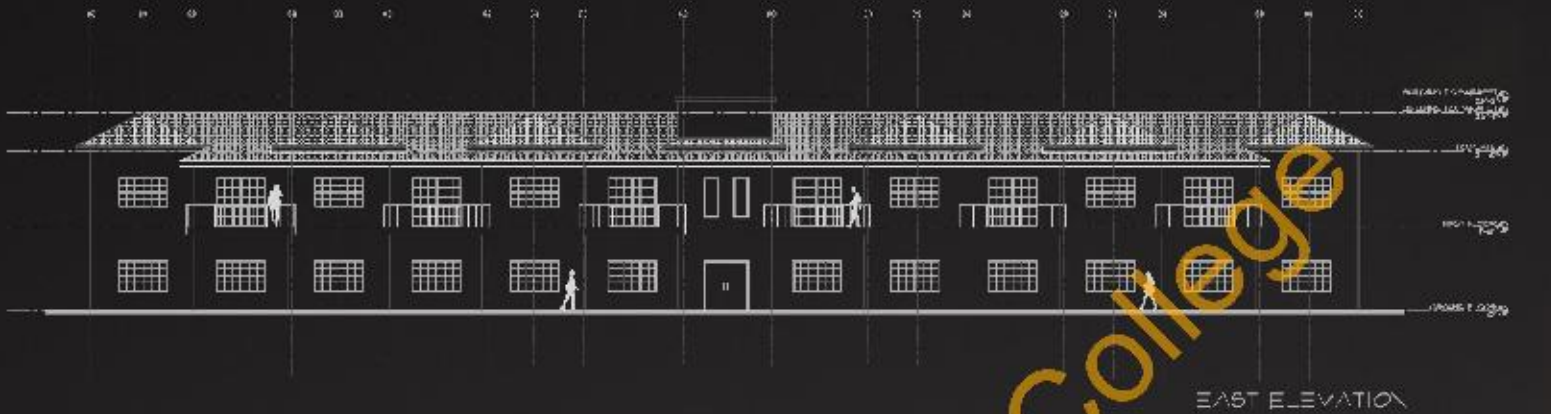
**CITY MAP:**



**LEGEND:**

■ LOCATION OF BUILDING

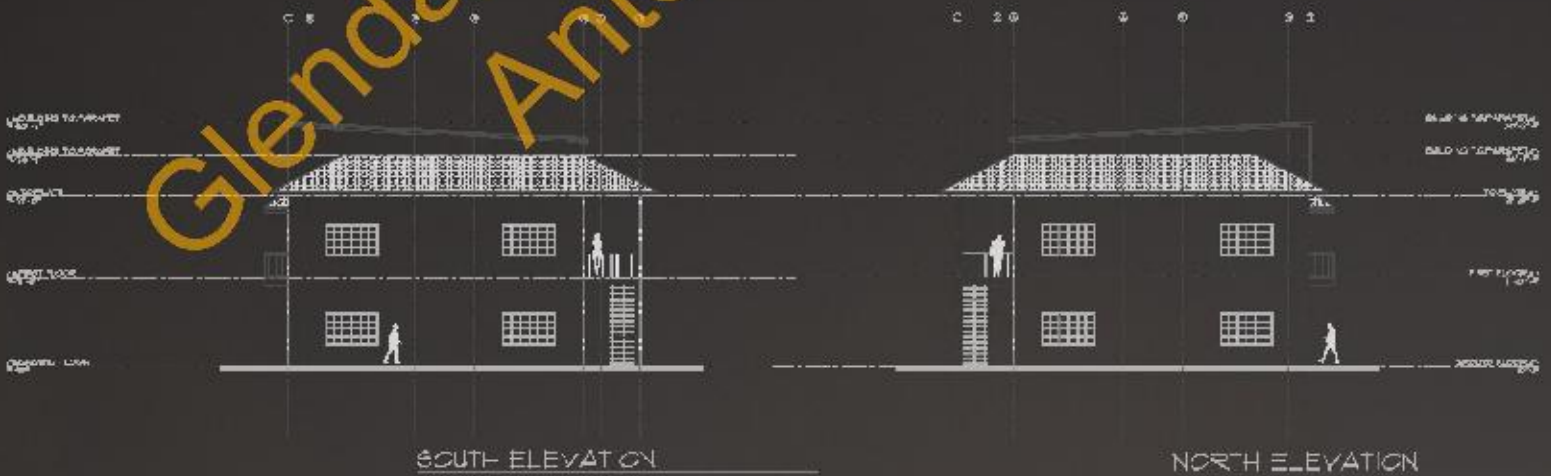
**PROPOSED SITE PLAN**



EAST ELEVATION



WEST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION

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— Thank You —